



# PARK TOWERS

A CONDOMINIUM SUBDIVISION

T 46c

### DIVISION OF WATER RESOURCES CERTIFICATE

THIS PLAT IS APPROVED BY THE DIVISION OF WATER RESOURCES OF THE STATE OF NEVADA ON THE DATE OF APPROVAL OF THE WATER QUANTITY, SUBJECT TO REVIEW OF APPROVAL ON FILE IN THIS OFFICE.

DATE: 3/15/01

### OWNERS CERTIFICATES

THIS IS TO CERTIFY THAT THE UNDERSIGNED, KEVIN L. JOHNSON AND RENEE L. JOHNSON, HAVE BEEN THE OWNERS OF THE TRACT OF LAND REPRESENTED ON THE PLAT AND HAVE CONVEYED TO THE PREPARATION AND RECORDATION OF THIS PLAT THE ENTIRE INTEREST IN THE TRACT OF LAND REPRESENTED ON THE PLAT TO THE CITY OF RENO, A BODY CORPORATE OF THE STATE OF NEVADA, AND HEREBY WARRANTS TO ALL PUBLIC UTILITIES AND TO THE CITY OF RENO, A BODY CORPORATE OF THE STATE OF NEVADA, THAT THE TRACT OF LAND REPRESENTED ON THE PLAT IS SUBJECT TO ALL COMMON WEALTH AS SHOWN HEREON, FOREVER.

NOTARY PUBLIC  
STATE OF NEVADA  
ON THIS 13th DAY OF March, 2001, PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC, IN THE COUNTY OF WASHOE, KEVIN L. JOHNSON AND RENEE L. JOHNSON, WHO ACKNOWLEDGED TO ME THAT THEY EXECUTED THE ABOVE INSTRUMENT, IN WITNESS WHEREOF, I HAVE HEREON SET MY HAND AND AFFIX MY OFFICIAL SEAL, THE DATE AND YEAR FIRST ABOVE WRITTEN.

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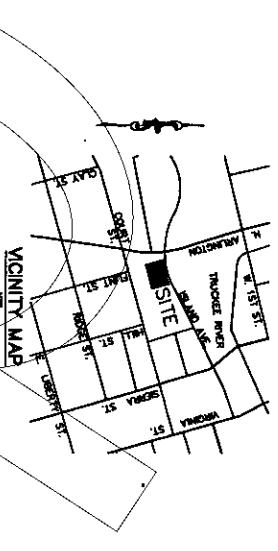
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### SECURITY INTEREST HOLDERS CERTIFICATE

THIS IS TO CERTIFY THAT THE UNDERSIGNED, THE BROADWAY TRUST COMPANY, HAS REVIEWED THE PLAT AND HAS CONSENTED TO THE PREPARATION AND RECORDATION OF THIS PLAT.

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### DISTRICT BOARD OF HEALTH CERTIFICATE

THIS FINAL MAP IS APPROVED BY THE WASHOE COUNTY DISTRICT BOARD OF HEALTH ON THE DATE OF APPROVAL OF THE PLAT, SUBJECT TO REVIEW OF APPROVAL ON FILE IN THIS OFFICE.

DATE: 2/28/01

### RENO CITY PLANNING CERTIFICATE

THE FINAL MAP OF THIS SUBDIVISION WAS RECOMMENDED FOR APPROVAL BY THE CITY PLANNING COMMISSION ON THE 13th DAY OF JULY, 2000. THIS PLAT IS APPROVED BY THE CITY PLANNING COMMISSION ON THE 13th DAY OF SEPTEMBER, 2000.

DATE: 9/3/01

### CITY COUNCIL CERTIFICATE

APPROVED AND ACCEPTED BY THE CITY COUNCIL OF THE CITY OF RENO, WASHOE COUNTY, NEVADA, ON THE 13th DAY OF SEPTEMBER, 2000.

DATE: 9/16/01

### SUPERVISOR'S CERTIFICATE

THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER THE SUPERVISION OF THE SUPERVISOR OF THE COUNTY OF WASHOE, NEVADA, AND THE SURVEY WAS COMPLETED ON DECEMBER 30, 2000. WITH THE NECESSARY STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE SURVEY WAS COMPLETED, THE SUPERVISOR HAS REVIEWED AND APPROVED THE PLAT AND THE INFORMATION CONTAINED THEREON.

DATE: 4/16/01

### TAX CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID AND THAT THE FULL AMOUNT OF ANY DEFERRED PROPERTY TAXES FOR THE CONVERSION OF THE PROPERTY FROM AGRICULTURAL USE HAS BEEN PAID PURSUANT TO NRS 361A.263.

DATE: 3/14/01

### CITY ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LICENSED CITY ENGINEER OF THE CITY OF RENO, WASHOE COUNTY, NEVADA, AND THAT I HAVE REVIEWED THE PLAT TO WHICH THIS CERTIFICATE IS ATTACHED, AND THAT THE PLAT IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEER'S ACT AND THE CITY ENGINEER'S REGULATIONS.

DATE: 3/14/01

### BASIS OF BEARINGS

THE BEARINGS AND DISTANCES SHOWN ON THIS PLAT ARE AS ESTABLISHED BY THE 1983 TO 1985 POINTS 304 & 305, SINCE THESE BEING CONTROL POINTS BY ORDNANCE SURVEY.

DATE: 3/14/01

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DATE: 3/14/01

DATE: 3/14/01

CONDOMINIUM TRACT MAP 39411

CONDOMINIUM TRACT MAP 39411

PARK TOWERS

CONDOMINIUM SUBDIVISION

PORTION OF SE 1/4 SECTION 11, T19N, N1/2E, R23E, W2E

WASHOE COUNTY, NEVADA

PREPARED BY: EFF CODRGA, PLANNING CONSULTANTS, INC.

DATE: 3/14/01

SHEET 1 OF 10 SHEETS





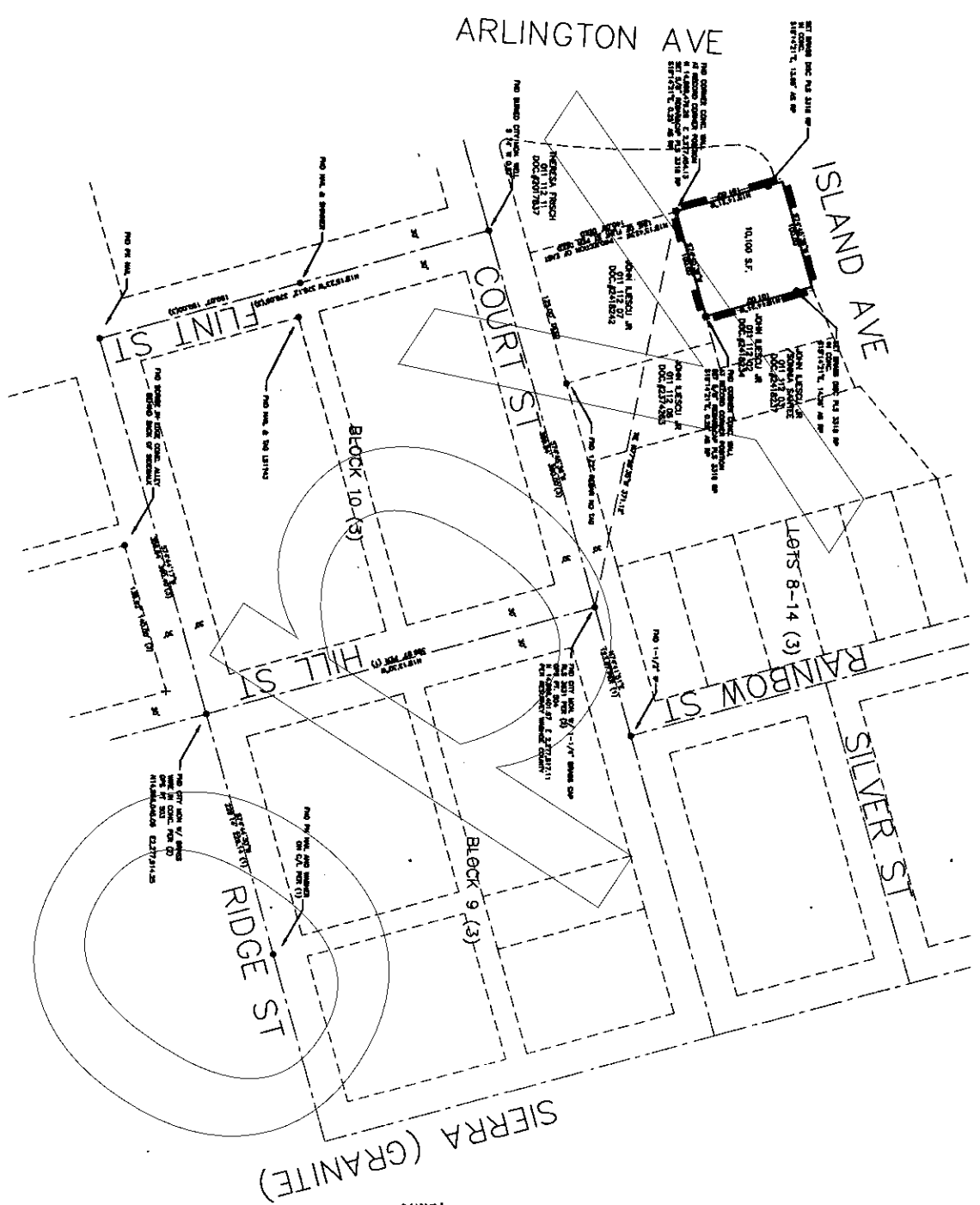
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

**NOTES**

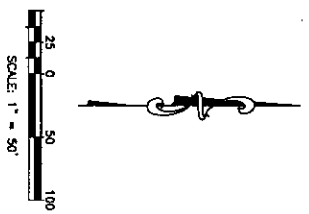
1. UNITARY GASBOILER IS ALSO HEREBY GRANTED WITHIN EACH UNIT AND COMMON AREA FOR THE EXCLUSIVE PURPOSE OF HEATING, VENTILATING AND AIR-CONDITIONING.
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5. AN EASEMENT TO OWNERS OF UNITS IS ALSO HEREBY GRANTED WITHIN UNITS AND UNRESTRICTED AREAS OF ALL COMMON AREAS FOR ACCESS TO AND EGRESS FROM THEIR UNITS AND UNRESTRICTED AREAS OF ALL COMMON AREAS.

2542862



AT 116C



- LEGEND:**
- SET MONUMENT AS NOTED
  - FOUND MONUMENTS AS DESCRIBED
  - + BENCHMARK POINT, NOTHING FOUND ON SET
  - REFERENCE NUMBER
  - SQUARE FEET
  - WALLED LINES
  - UNSETTLED PANEL LINES
  - CENTERLINE
- REFERENCES**
1. PLAT 11, 11/1/88
  2. PLAT 12, 11/1/88
  3. PLAT 13, 11/1/88
  4. PLAT 14, 11/1/88

2542862 2542862 SHEET 2 OF 10 SHEETS

**PARK TOWERS**  
A CONDOMINIUM SUBDIVISION  
WISCONSIN COUNTY  
MENOMONIE, WISCONSIN

HEFF CODRICA  
INC.  
REGISTERED PROFESSIONAL ENGINEER  
No. 10000  
Wisconsin State Board of Engineers  
1999

Condominium Tract Map 3941A

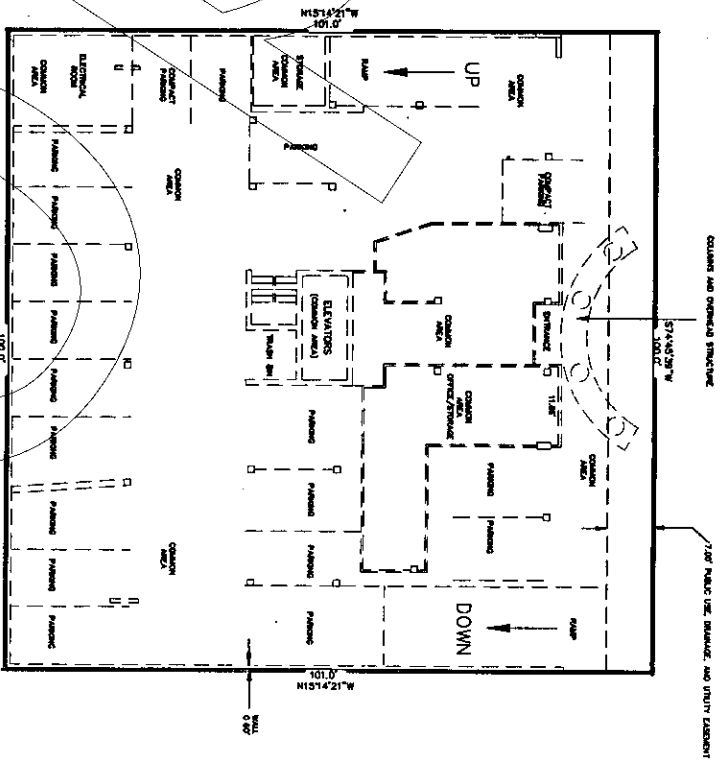
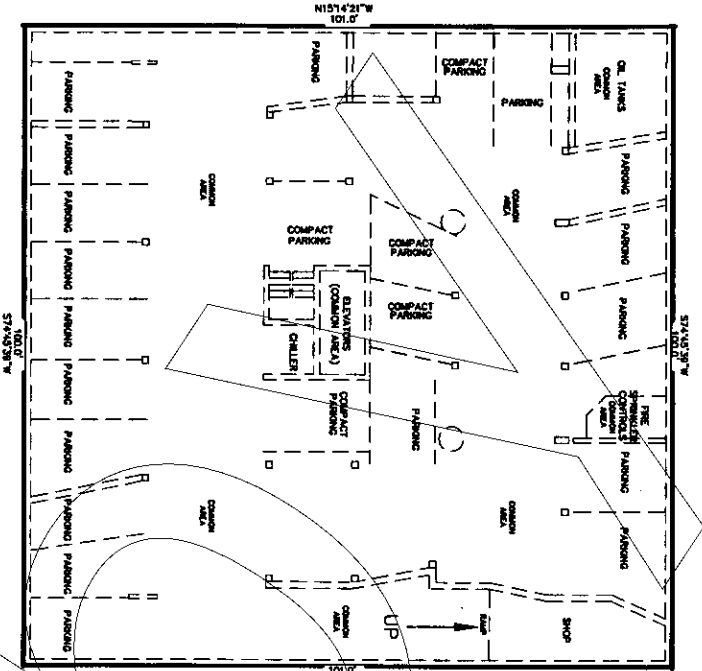
3941A



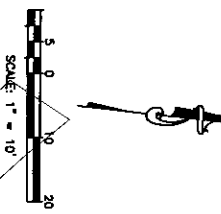
2542882  
 84/13/2881  
 3 of 18

THIS PLAN IS TO BE USED FOR THE CONSTRUCTION OF THE BUILDING AND SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

2542882-



LEGEND  
 ○ ○ ○ ○ ○ COLUMNS  
 □ □ □ □ □ 1.00'x1.00' COLUMNS



2542882-2 SHEET 3 OF 10 SHEETS  
**PARK TOWERS**  
 A CONDOMINIUM SUBDIVISION  
 PORTION OF SE 1/4 SECTION 11, T.18N., R.11E., M.20A.  
 WABCO COUNTY, ILLINOIS

JEFF CODECA  
 ARCHITECT  
 201 West Park Lane, Hunt, Illinois 60142  
 (708) 327-2222 FAX (708) 327-2221

Condominium Tract Map 3941.B

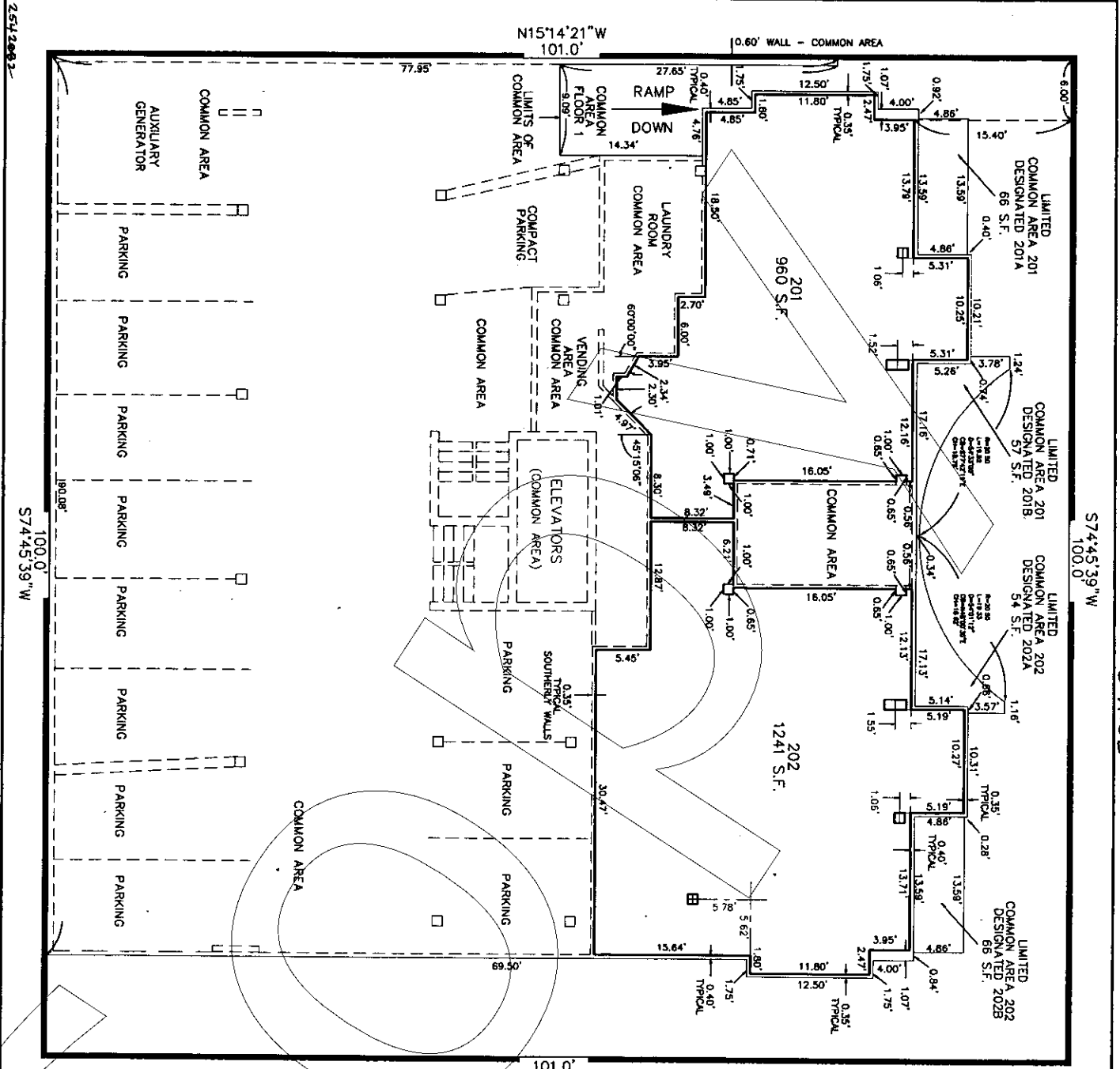
3941B

3941B



2542882  
 04/13/2001  
 4 of 10

CONTRACT NO. 2542882  
 SHEET NO. 4 OF 10  
 SHEET TITLE: FLOOR 2  
 PROJECT: PARK TOWERS



77.95'  
 101.0'  
 100.0'  
 100.0'

0176E

- LEGEND
- = COLUMNS
  - = 1.00"x2.15" COLUMNS
  - = 1.00"x1.00" COLUMNS
  - = 0.37" DIA. COLUMNS
- NOTES
1. WALL THICKNESS BETWEEN UNITS IS 0.35" UNLESS OTHERWISE NOTED. EXTERIOR BUILDING WALLS ARE 0.40" EXCEPT PROJECTIONS WHICH ARE 0.35". ALL WALLS ARE PARALLEL TO PROPERTY LINES UNLESS INDICATED FOR WALL DIRECTION ARE SHOWN.
  2. DIMENSIONS ARE TO CENTER OF COLUMNS

UNITS	2201	2202
COMMON AREA	540	243
LIMITED COMMON AREA		243
TOTAL		7920 S.F.

SCALE: 1" = 5'  
 0 5 10

2542882  
 SHEET 4 OF 10 SHEETS  
**PARK TOWERS**  
 A CONDOMINIUM DEVELOPMENT  
 IN THE COUNTY OF WINDSOR, MICHIGAN  
 JEFF CODEGA  
 ARCHITECT

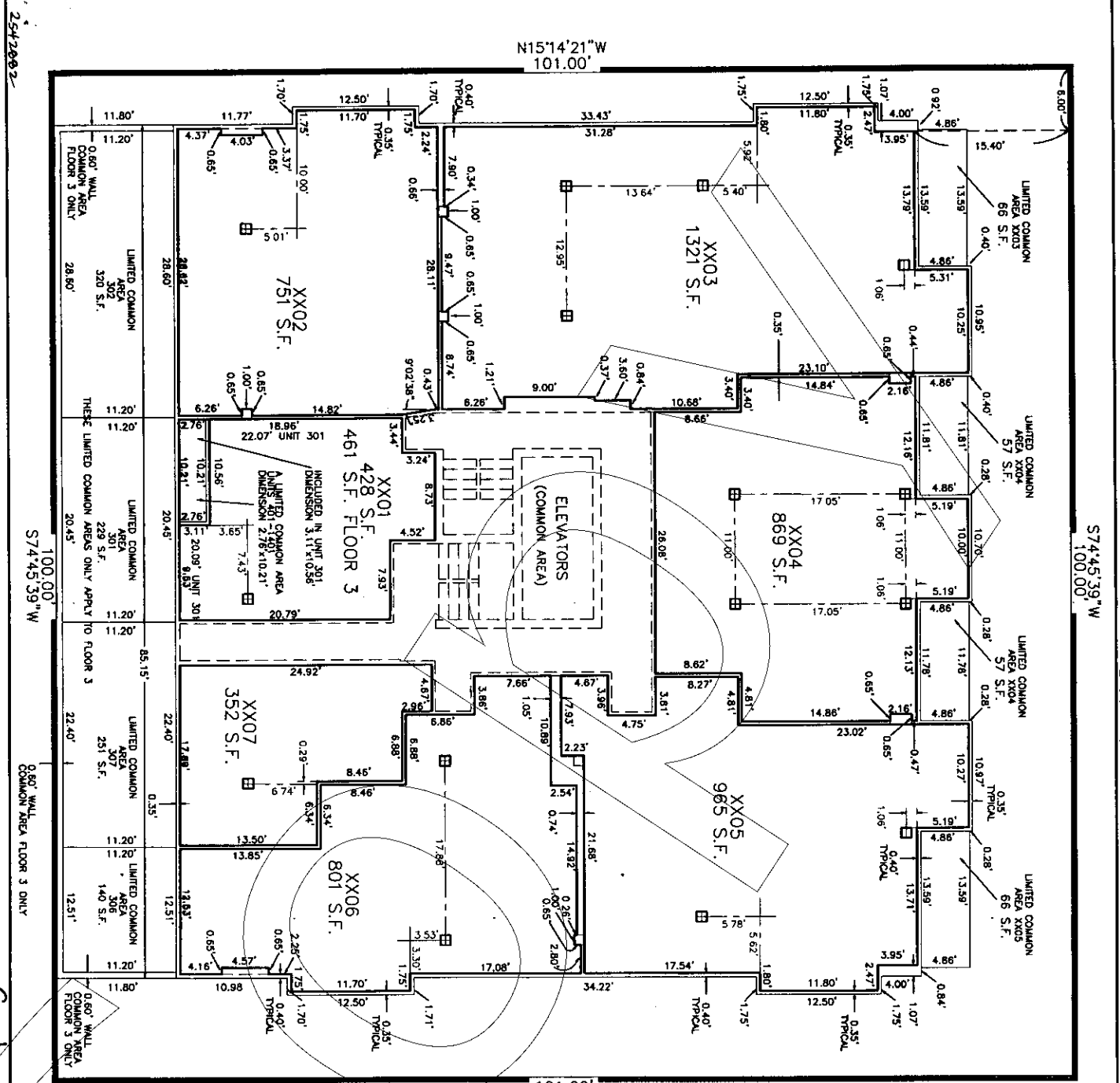
Condominium Tract Map 3941C

3941C



2542882  
 04/13/2001  
 5 of 10

CONVEYANCE TO THE  
 RECORDING OFFICE  
 SHOULD BE MADE  
 WITHIN 10 DAYS  
 OF THE DATE OF  
 RECORDING



S74°45'39\"/>
 100.00'

D1462

100.00'  
 S74°45'39\"/>
 2542882

101.00'  
 N15°14'21\"/>
 101.00'

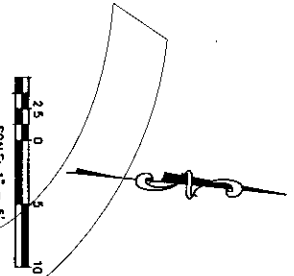
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  2. ALL WALLS ARE PARALLEL TO PROPERTY LINES UNLESS ANGLES FOR WALL DIRECTION ARE SHOWN.

LEGEND  
 ○ 1.00' x 1.00' COLUMNS  
 ○ 0.35' DIA. COLUMNS  
 XX DENOTES FLOOR NUMBER 3 - 14, EXCEPT UNIT 301

FLOOR 3	
UNITS	5520
COMMON AREA	1118
LIMITED COMMON AREA	1186
TOTAL	7824 sq. ft.

FLOOR 4-14, EACH FLOOR	
UNITS	5487
COMMON AREA	1058
LIMITED COMMON AREA	274
TOTAL	6819 sq. ft.



**FLOOR 3-14**  
 (THERE IS NO FLOOR 15)

2542882  
 SHEET 5 OF 10 SHEETS

**PARK TOWERS**  
 A CONDOMINIUM DEVELOPMENT

**JEFF CODRICK**  
 ARCHITECT

CONDOMINIUM TRACT MAP 3941D

3941D



2542882  
 04/13/2001  
 6 of 10

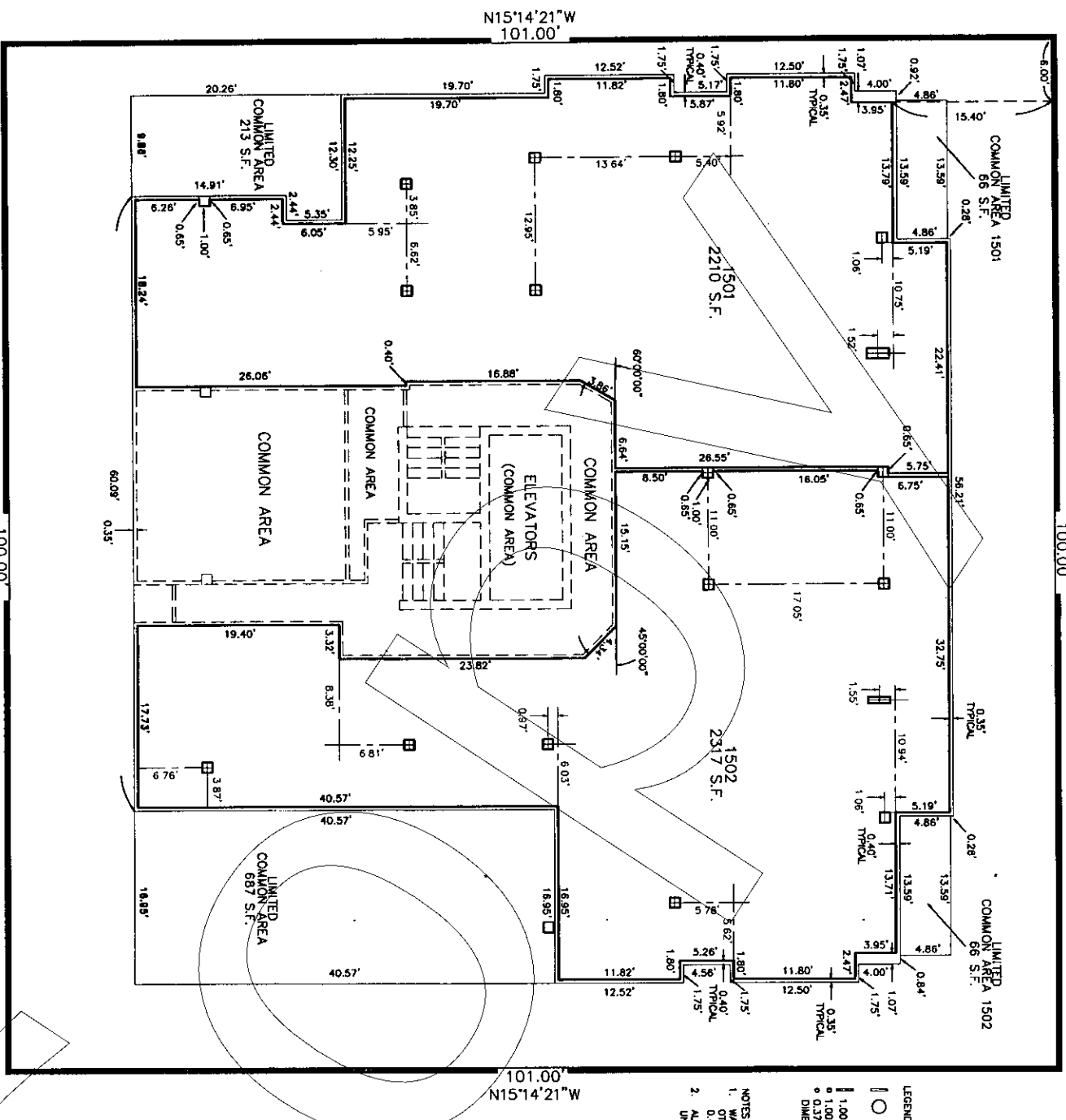
CUMULATIVE NUMBER  
 SHOULD BE ENTERED  
 IN THE SPACE PROVIDED  
 ON ALL SHEETS

2542882

100.00'  
 S74°45'39" W

S74°45'39" W  
 100.00'

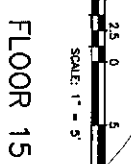
3146E



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- LEGEND
- = 0' COLUMNS
  - = 1.00'x2.16' COLUMNS
  - = 1.00'x1.00' COLUMNS
  - = 0.37' DIA. COLUMNS
- DIMENSIONS ARE TO CENTER OF COLUMNS

UNITS	4327
COMMON AREA	1332
LIMITED COMMON AREA	1032
TOTAL	6691 sq. ft.



FLOOR 15

2542882 SHEET 8 OF 10 SHEETS

OPTIONAL PLAN OF  
**PARK TOWERS**  
 A CONDOMINIUM SUBDIVISION

PORTION OF SE 1/4 SECTION 11, T18N, R17E, M20L,  
 WISCONSIN COUNTY,  
 WISCONSIN

JEFF CODECCA  
 ARCHITECT  
 1000 W. WISCONSIN AVENUE  
 MILWAUKEE, WI 53233

DATE: 04/13/2001

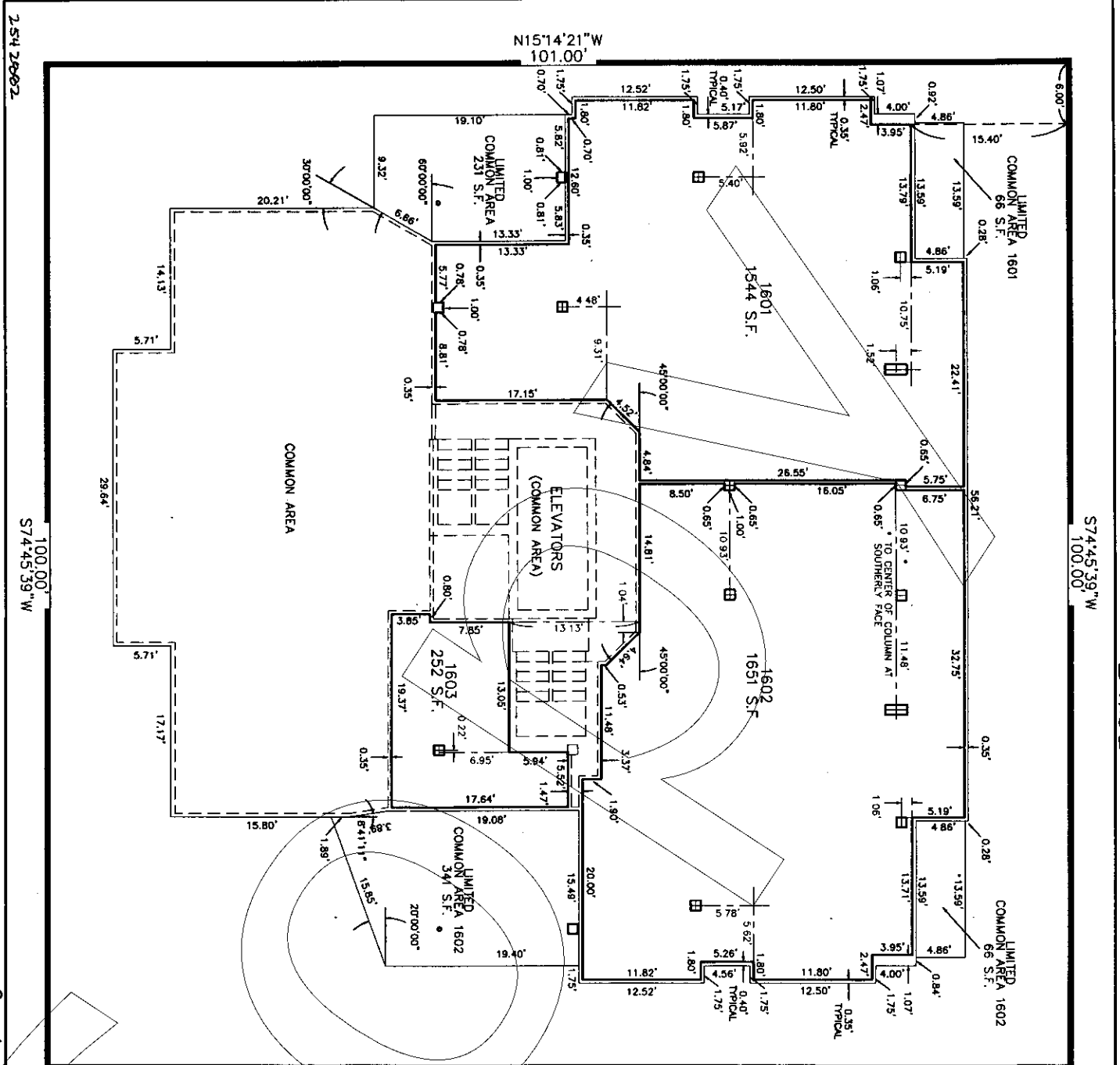
Condominium Tract Map 3941E

CUMULATIVE NUMBER  
 SHOULD BE ENTERED  
 IN THE SPACE PROVIDED  
 ON ALL SHEETS



2542882  
 04/13/2001  
 7 of 10

QUALIFIER NUMBER  
 254 20002  
 CHANGES TO THIS MAP  
 BY ANY PERSON  
 SHALL BE UNLAWFUL



S7445'39"W  
 100.00'

F 16B

254 20002

100.00'  
 S7445'39"W

N15°14'21"W  
 101.00'

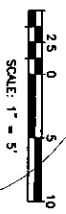
101.00'  
 N15°14'21"W

- NOTES
1. WALL THICKNESS BETWEEN UNITS IS 0.35' UNLESS OTHERWISE NOTED. EXTERIOR BUILDING WALLS ARE 0.40' EXCEPT PROJECTIONS WHICH ARE 0.35'. ALL WALLS ARE PARALLEL TO PROPERTY LINES UNLESS ANGLES FOR WALL DIRECTION ARE SHOWN.
  - 2.

- LEGEND
- = COLUMNS
  - = 1.00'x2.16' COLUMNS
  - = 1.00'x1.00' COLUMNS
  - = 0.37' DIA. COLUMNS
- DIMENSIONS ARE TO CENTER OF COLUMNS

UNITS	3447
COMMON AREA	2379
LIMITED COMMON AREA	704
TOTAL	6530 sq. ft.

FLOOR 16



Condominium Tract Map 3941F

JOB NO. 18040002 2542882 SHEET 7 OF 10 SHEETS

OFFICE: JEFF CODECA  
 1000 N. 11th St., Suite 100, Phoenix, AZ 85004  
 (602) 254-1111

PROJECT: PARK TOWERS  
 A CONDOMINIUM SUBDIVISION  
 IN MARICOPA COUNTY, ARIZONA

DATE: 04/13/2001

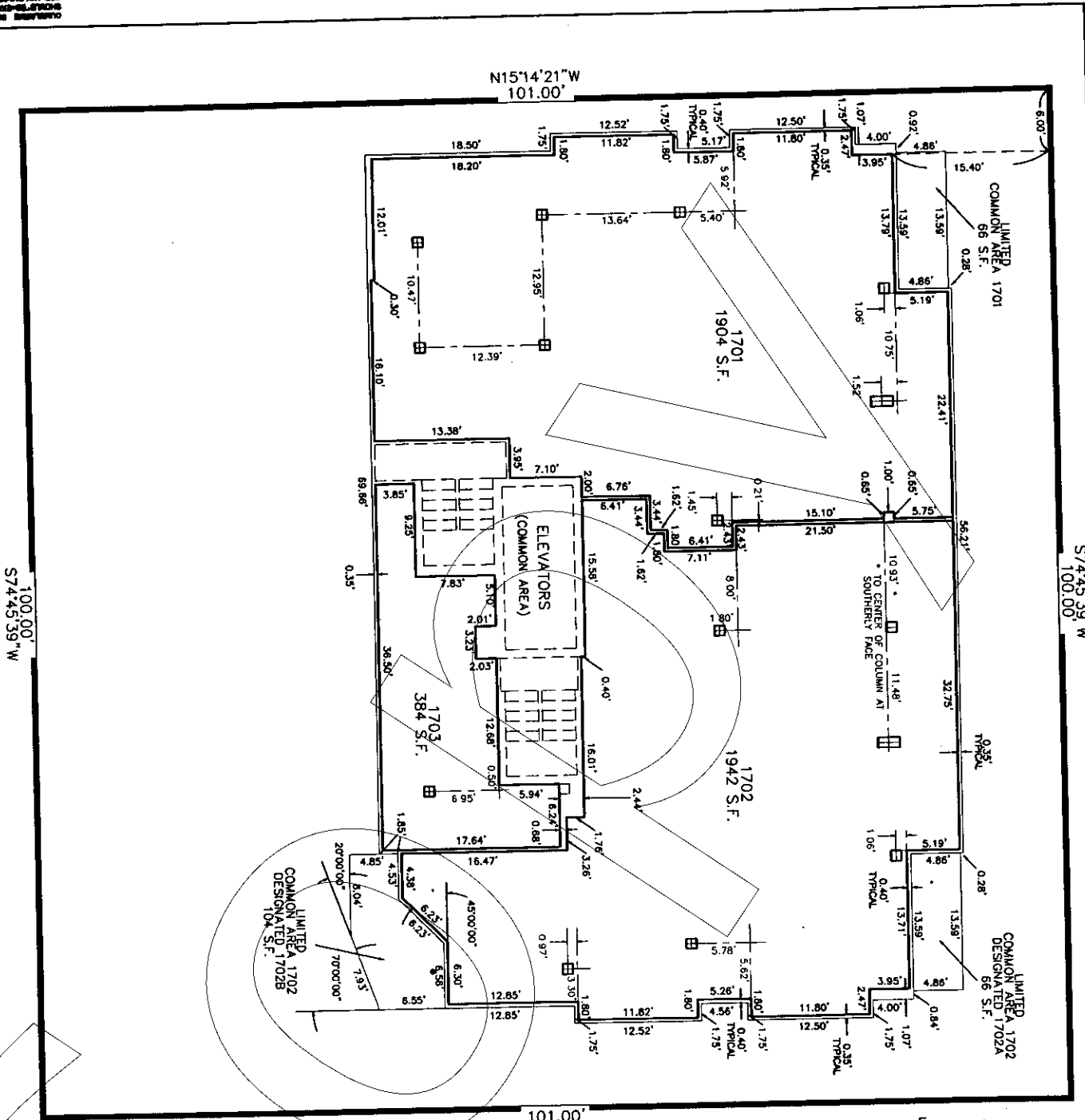
3941F



2542882  
 04/13/2001  
 8 of 18

CONCRETE REINFORCING  
 CHANGES TO THIS MAP  
 SHALL BE INDICATED BY  
 DIMENSIONED CHANGES

2542882



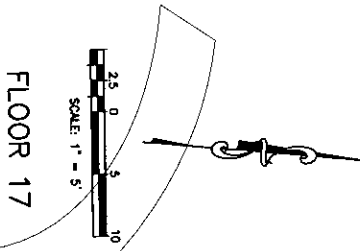
100.00'  
 574.4539"W

574.4539"W  
 100.00'

0146

- LEGEND
- 0.35' COLUMNS
  - 1.00'x12.16' COLUMNS
  - 1.00'x1.00' COLUMNS
  - 0.37' DIA. COLUMNS
- NOTES
1. ALL THICKNESS BETWEEN UNITS IS 0.35' UNLESS OTHERWISE NOTED. EXTERIOR BUILDING WALLS ARE 0.40' EXCEPT PROJECTIONS WHICH ARE 0.35'.
  2. ALL WALLS ARE PARALLEL TO PROPERTY LINES UNLESS ANGLES FOR WALL DIRECTION ARE SHOWN.

UNITS	4310
CONDOMINIUM AREA	586
LIMITED COMMON AREA	236
TOTAL	5031 sq ft



FLOOR 17

2542882- SHEET 8 OF 10 SHEETS

**PARK TOWERS**  
 A CONDOMINIUM SUBDIVISION

EFF CODECA  
 ARCHITECTS INC.

10000' OF SE 1/4 SECTION 11, T19N, R17E, M.D.M.  
 WABASH COUNTY, INDIANA

Condominium Tract Map 3941G

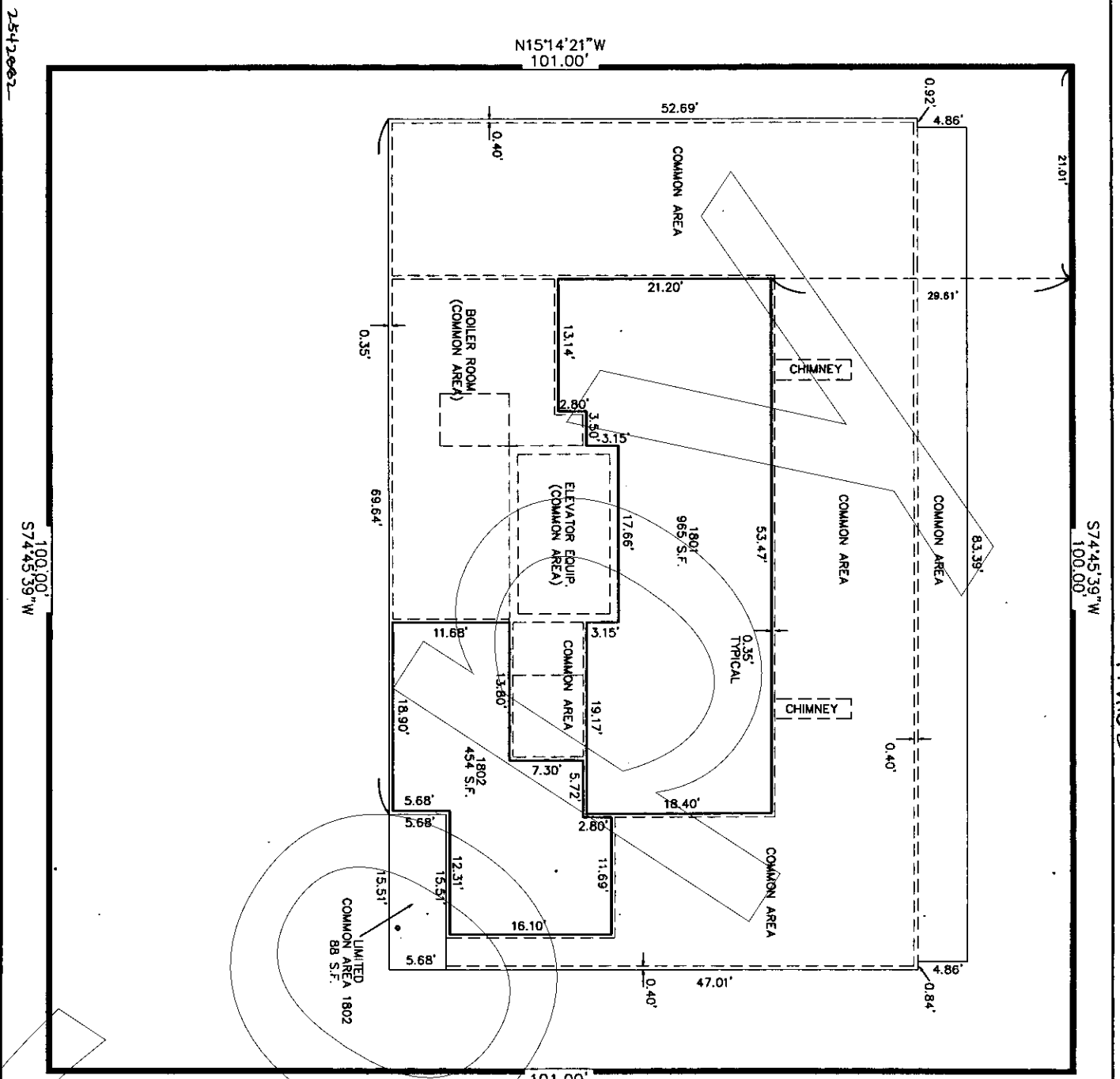
3941G  
 CUMULATIVE INCORPORATIONS  
 SHOULD BE OBTAINED  
 FOR ANY SUBSEQUENT  
 CHANGES TO THIS MAP





2542882  
04/13/2001  
9 of 10

FOR THE CALIFORNIA  
REGISTERED ARCHITECT  
REGISTERED TO PRACTICE  
ARCHITECTURE IN THE STATE  
OF CALIFORNIA



S74.45'39"W  
100.00'

H 1146

2542882

100.00'  
S74.45'39"W

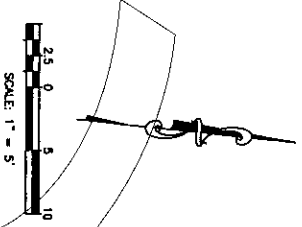
N15°14'21"W  
101.00'

101.00'  
N15°14'21"W

LEGEND  
• 0.37" DIA. COLUMNS

- NOTES
1. WALL THICKNESS BETWEEN UNITS IS 0.35" UNLESS OTHERWISE NOTED.
  2. ALL WALLS ARE PARALLEL TO PROPERTY LINES UNLESS ANGLES FOR WALL DIRECTION ARE SHOWN.

UNITS	1419
COMMON AREA	3384
LIMITED COMMON AREA	88
TOTAL	4891 sq. ft.



FLOOR 18

2542882 SHEET 9 OF 10 SHEETS

**PARK TOWERS**  
A CONDOMINIUM DEVELOPMENT  
IN THE CITY AND COUNTY OF WASHOE COUNTY, NEVADA

PORTION OF SE 1/4 SECTION 11, T.18N., R.11E., N.D.M.  
RANGE

IEF CODECA  
REGISTERED ARCHITECT  
1000 W. HARRIS AVENUE, SUITE 200  
SPRINGFIELD, NEVADA 89501

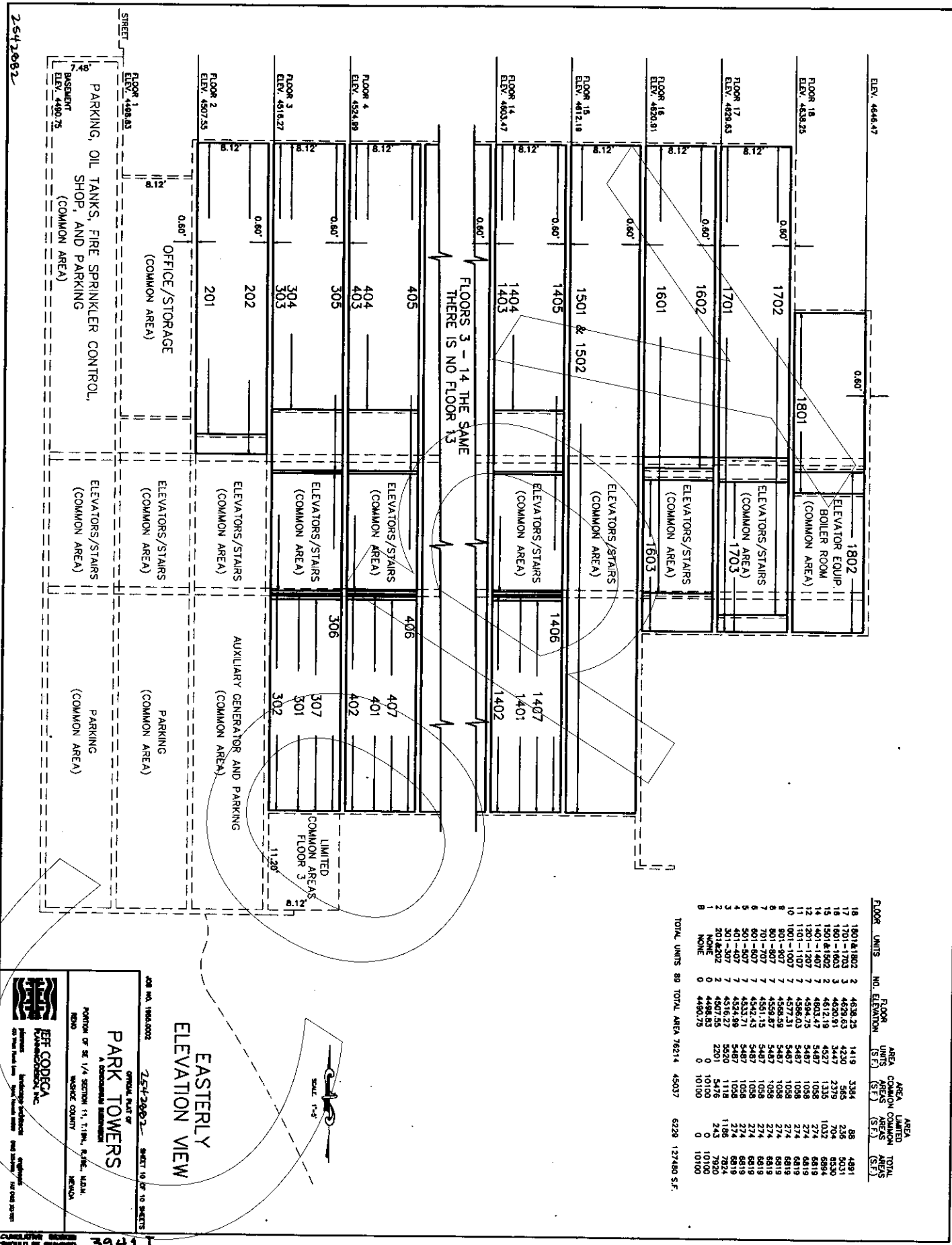
Condominium Tract Map 3941H

CUMULATIVE RECORDS  
SHOULD BE EXAMINED  
FOR ANY SUBSEQUENT  
CHANGES TO THIS MAP

H 1146



I 1462



FLOOR UNITS	NO. ELEVATOR	FLOOR AREA (S.F.)	AREA COMMON AREAS (S.F.)	AREA LIMITED COMMON AREAS (S.F.)	TOTAL AREA (S.F.)
18	1801&1802	4638.25	1419	3384	4891
17	1701-1703	4628.63	4230	565	5011
16	1601-1603	4630.91	3447	2379	6300
15	1501&1502	4612.19	4527	1335	1032
14	1401-1407	4803.47	5487	1058	6819
13	1301-1307	4586.75	5487	1058	6819
12	1201-1207	4577.31	5487	1058	6819
11	1101-1107	4577.31	5487	1058	6819
10	1001-1007	4566.59	5487	1058	6819
9	901-907	4559.87	5487	1058	6819
8	801-807	4551.15	5487	1058	6819
7	701-707	4542.43	5487	1058	6819
6	601-607	4533.71	5487	1058	6819
5	501-507	4524.99	5487	1058	6819
4	401-407	4516.27	5520	1118	1166
3	301-307	4507.55	2201	5476	7920
2	NONE	0	4498.83	0	10100
1	NONE	0	4490.75	0	10100
89	TOTAL UNITS	78214	45037	6229	127480 S.F.

EASTERLY ELEVATION VIEW

PARK TOWERS

PORTION OF SE 1/4 SECTION 11, T.18N., R.16E., U28N., WASHOE COUNTY, NEVADA



Condominium Tract Map 3941 I

3941 I

2542882